

NOTICE OF WORK SESSION BY THE CITY COUNCIL
OF THE CITY OF CEDAR HILLS, UTAH

*This meeting may be held electronically via telephone
to permit one or more of the council members to participate.*

Notice is hereby given that the City Council of the City of Cedar Hills, Utah, will hold a Work Session prior to their Special meeting on **Tuesday, July 31, 2012, at 6:00 p.m.**, at the Community Recreation Center, 10640 N Clubhouse Drive, Cedar Hills, Utah. The City Council will be discussing the following items:

- Joint Work Session with Pleasant Grove City Council & Mayor
- Noticed Agenda Items for the Regular Council Meeting
- Motion to go into Executive Session, Pursuant to Utah State Code 52-4-204 and 52-4-205

* * * EXECUTIVE SESSION * * *

- Motion to Adjourn Executive Session and Reconvene Work Session

THE PUBLIC IS INVITED TO ATTEND.

Dated this 23rd day of July, 2012.

Gretchen F. Gordon, Deputy City Recorder

- Supporting documentation for this agenda is posted on the City's Web Site at www.cedarhills.org.
- In accordance with the Americans with Disabilities Act, the City of Cedar Hills will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at 801-785-9668 at least 48 hours in advance of the meeting to be held.
- The order of agenda items may change to accommodate the needs of the City Council, the staff, and the public.

SPECIAL CITY COUNCIL MEETING
Tuesday, July 31, 2012 7:00 p.m.
Community Recreation Center
10640 N Clubhouse Drive, Cedar Hills, Utah

This meeting may be held electronically via telephone to permit one or more of the council members to participate.

NOTICE is hereby given that the City Council of the City of Cedar Hills, Utah, will hold public hearings in connection with a Special City Council Meeting on Tuesday, July 31, 2012, beginning at 7:00 p.m.

COUNCIL MEETING

1. Call to Order, Invocation and Pledge

SCHEDULED ITEMS

2. Review/Action on Final Plan for Bridgestone, Plat C
3. Appointment of City Manager

EXECUTIVE SESSION

4. Motion to go into Executive Session, Pursuant to Utah State Code 52-4-204 and 52-4-205
* * * EXECUTIVE SESSION * * *
5. Motion to Adjourn Executive Session and Reconvene City Council Meeting

ADJOURNMENT

6. Adjourn

Dated this 23rd day of July, 2012.

Gretchen F. Gordon, Deputy City Recorder

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CITY OF CEDAR HILLS

TO:	City Council
FROM:	Greg Robinson
DATE:	7/31/2012

City Council Agenda Item

SUBJECT:	Bridgestone Plat C Final Approval
APPLICANT PRESENTATION:	Brandon Dyer
STAFF PRESENTATION:	Greg Robinson, City Planner

BACKGROUND AND FINDINGS:

Perry Homes has submitted final development plans for Bridgestone Plat C. The new plan does not change the density of the development; however it does include two 8-plex units. All of the units currently located in this HOA are 4-plex units and full brick with upgraded roofing materials. The HOA has expressed their interest and support of the Perry Homes development and have attended several meetings.

PREVIOUS LEGISLATIVE ACTION:

City Council Preliminary Approval: "That we grant preliminary of Bridgestone, Plat C subject to: an approval of exterior material that's like other buildings, verification of water rights, final engineering, final drainage, verification recording of amended PUD HOA CC&Rs, postal easement verification, a final plat suitable for recording shall be submitted and reviewed by the city engineer, that the sidewalk in front is a minimum six feet and is in front of the parking stalls, and final landscaping plan review and that we grant a one-time variance based on the finding of fact that the development meets section 10-6b-5b, that it is appropriate for the proper development of the lot and that such an increase will not result in the establishment of a hazardous condition."

Planning Commission Final Approval: Verified the changes made to the plans as per preliminary approvals. They also discussed replacing the existing apple trees and increasing the sidewalk width to eight feet.

FISCAL IMPACT:

N/A

SUPPORTING DOCUMENTS:

[Click here to enter text.](#)

RECOMMENDATION:

Exterior materials, adding more brick. Definitely need some sections in the back that have brick all the way up. Maybe a percentage requirement for brick.

The setbacks off of 4500 W. are really close to have a two story building. You could almost reach out and touch the house from the sidewalk. The Council will have to make a finding of fact for the side setback which according to code should be 30'. Same with front setbacks.

The side of the house facing 4500 W should have more brick to match what is in the neighborhood since it is going to be right in your face, and should have a broken up façade to avoid a big blank wall.

Replace the apple trees:

More evergreens for screening the back of the buildings

Do you think that we need to have this note added to the plans? 10-6B-6D. Buildable Area: Each individual lot or designated building site shall contain a buildable area of not less than four thousand (4,000) square feet. The location of each buildable area shall be designated on the preliminary and final plans for the project and a notation placed on the recorded plat that all main and accessory buildings shall be located within the designated buildable area. Need a note for this on the plans.

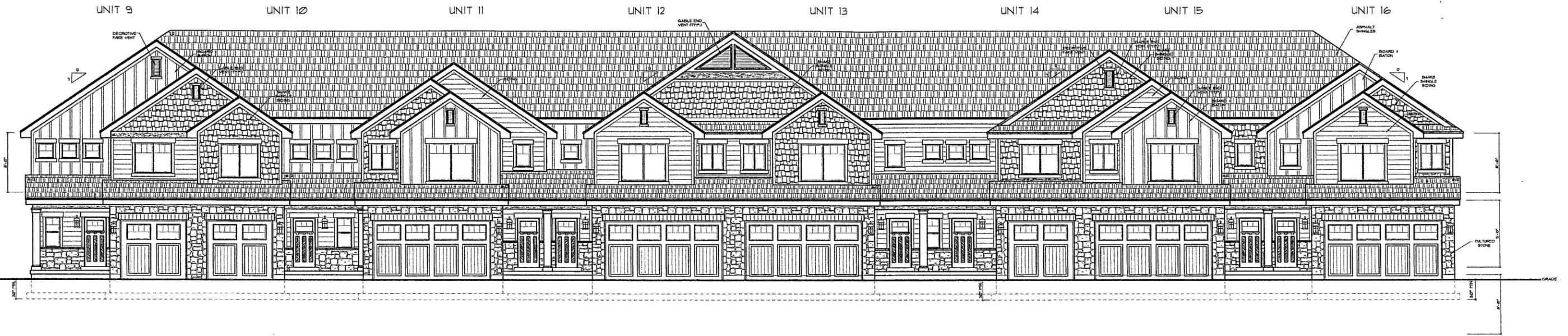
Letter from the HOA ARC verifying the acceptance of the building elevations.

Do we have on the old plat, or do we need new public utility easements?

Will we need additional water rights? We didn't change the number of dwelling units.

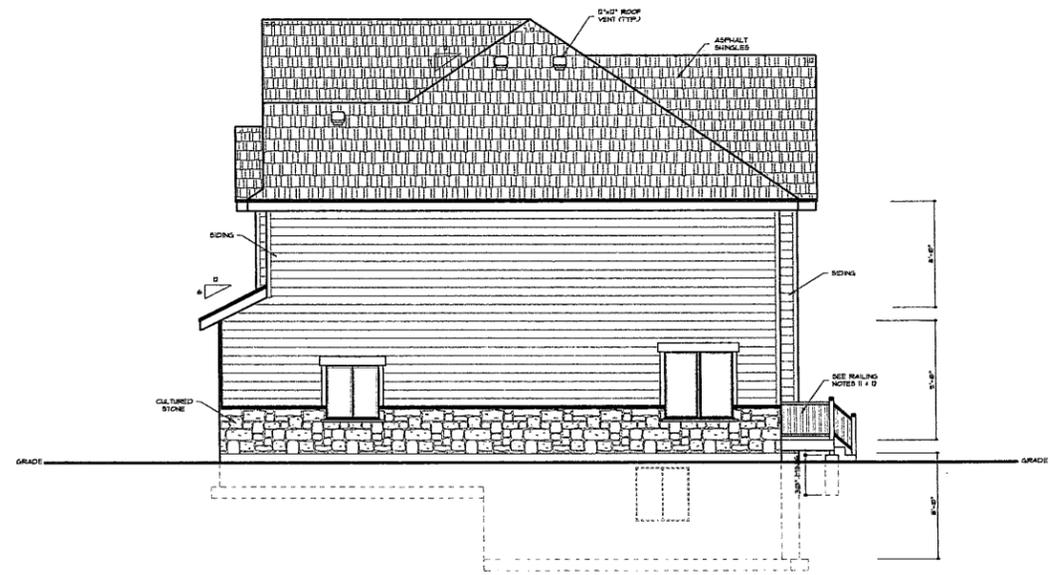
MOTION:

Click here to enter text.




FRONT ELEVATION
 BUILDING B

SCALE: 3/16"=1'-0"



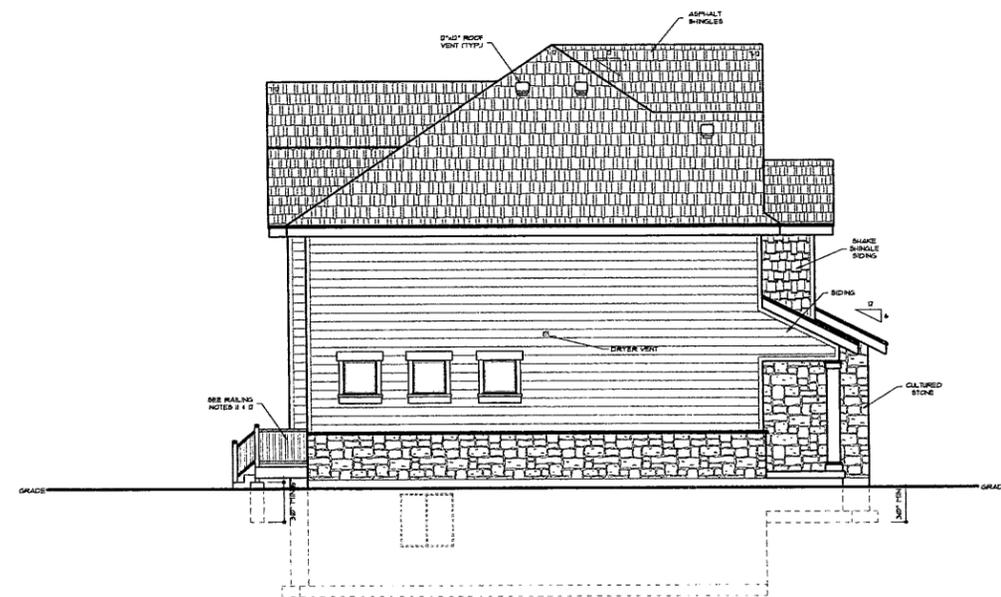

RIGHT SIDE ELEVATION
 BUILDING B

SCALE: 3/16"=1'-0"



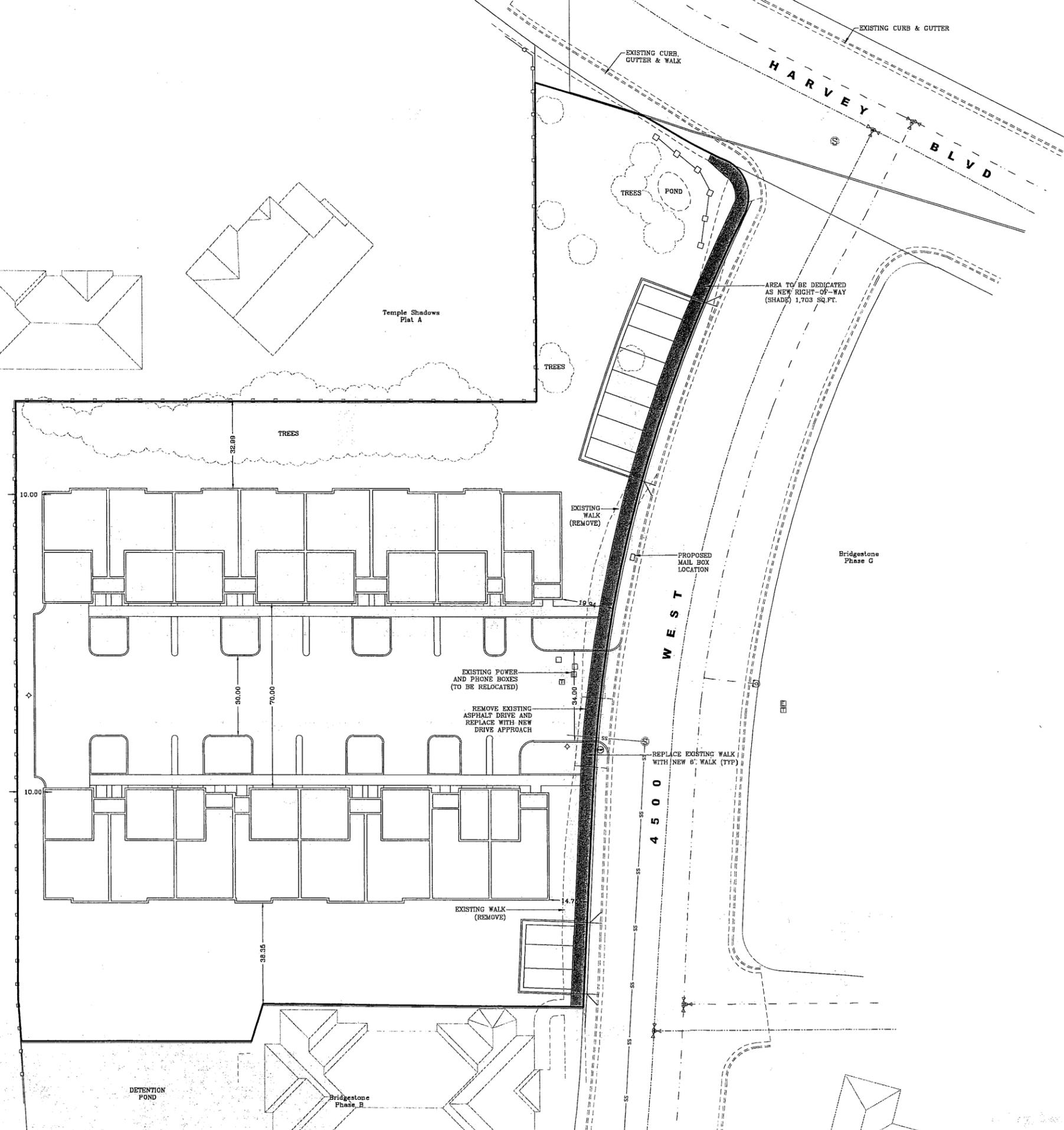
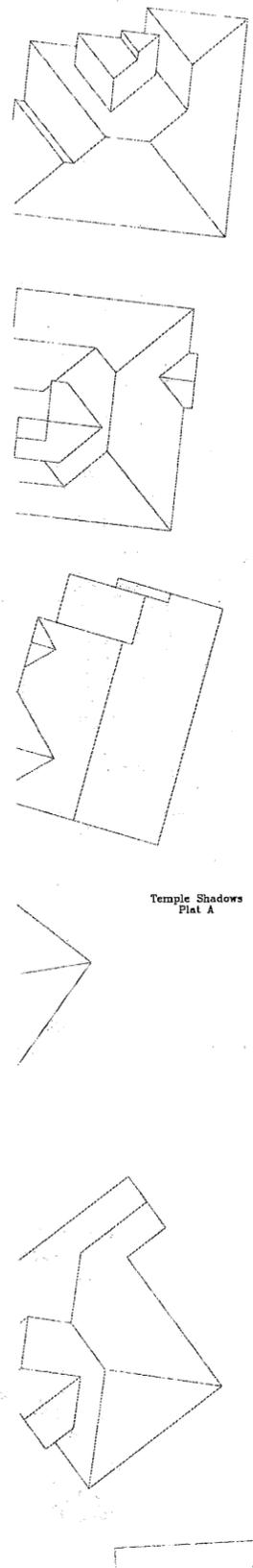
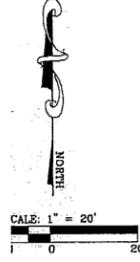

REAR ELEVATION
 BUILDING B

SCALE: 3/16"=1'-0"




LEFT SIDE ELEVATION
 BUILDING B

SCALE: 3/16"=1'-0"



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TABULATIONS

ZONE	PH 3-4
TOTAL AREA	60,911 SQ.FT. (1.40 AC.)
BUILDING AREA	16,388 SQ.FT.
PARKING/HARD SURFACE AREA	18,517 SQ.FT.
TOTAL INTERIORS	92,913 SQ.FT.
LANDSCAPE AREA	27,998 SQ.FT. (48.0%)
PARKING TABULATIONS:	
PARKING REQUIRED	38 (2 PER UNIT, PLUS 1 PER 4 UNITS)
PARKING PROVIDED	98 STALLS (58 GARAGES, 11 STALLS)

NOTES:

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE LATEST EDITION OF CEDAR HILLS CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. NO SLOPES EXCEED 30%.
4. ALL ADA ACCESSIBLE SIDEWALK RAMP WILL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CEDAR HILLS CITY STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
5. ALL VERTICAL DATA IS BASED ON NAVD83.
6. IRRIGATION SYSTEM TO HAVE RAIN SENSOR.
7. THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT APPROVED FOR CONSTRUCTION UNLESS A SIGNED AND DATED APPROVAL STAMP IS AFFIXED BY THE APPROVING AGENCY/CITY.
8. REFER TO CEDAR HILLS CITY STANDARD DRAWINGS FOR ALL CITY STANDARD DETAILS AND INFORMATION.
9. ALL ROOF DRAINS TO DRAIN TO THE PARKING AREAS UNLESS OTHERWISE NOTED.
10. ALL ON SITE STORM DRAIN IS "PRIVATE" AND IS OWNED AND MAINTAINED BY THE PROPERTY OWNER. DETENTION FACILITIES SHALL NOT BE REMOVED OR ALTERED WITHOUT APPROVAL FROM THE CITY COUNCIL AND THE CITY ENGINEER.
11. ALL PARKING AREAS SHALL BE PRIVATELY MAINTAINED.

LEGEND

	PROPOSED SEWER (SDR25-12034 PVC)
	PROPOSED CULINARY
	EXISTING CULINARY (C200 SDR21)
	PROPOSED P.I.
	EXISTING P.I. (C50 DUCTILE IRON WITH PURPLE SOCK)
	STORM DRAIN
	EXISTING WATER VALVE
	WATER VALVE
	FIRE HYDRANT
	EXISTING SEWER MANHOLE
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	STORM DRAIN SUMP
	CATCH BASIN
	CURB INLET
	STREET LIGHT (DARK SKY AND DIRECTIONALLY SHIELDED)
	STREET SIGN
	STREET REGULATION SIGN
	TELEPHONE JUNC. BOX
	ELECTRICAL BOX
	POWER POLE

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	FINAL PLAT
SHEET 3	UTILITY PLAN
SHEET 4	GRADING PLAN
SHEET 5	DETAILS
SHEET 6	LANDSCAPE PLAN

DEVELOPER

PERRY HOMES
 17 E. WINCHESTER #200
 MURRAY, UTAH 84107
 PH (801) 264-8800

ENGINEER

LEI CONSULTING ENGINEERS
 AND SURVEYORS, INC.
 14441 SOUTH 980 WEST
 BLUFFDALE, UT 84085
 PH (801) 495-2844
 FAX (801) 495-2847

PROJECT NAME

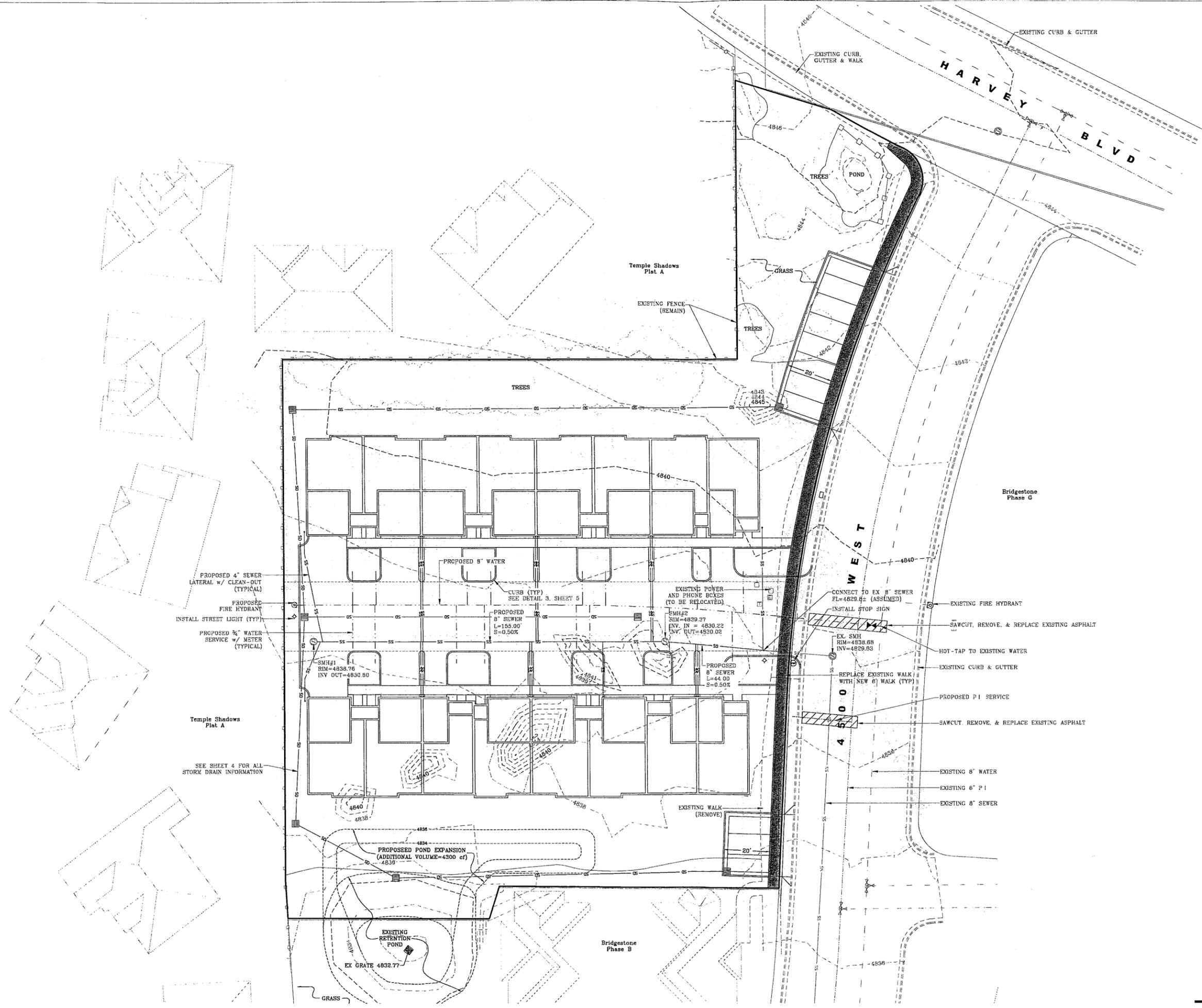
BRIDGESTONE PLAT "C"
 4500 WEST HARVEY BLVD., CEDAR HILLS, UTAH
 COVER

REVISIONS	
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LEI PROJECT #:	
2011-0442	
DRAWN BY:	
JSR	
CHECKED BY:	
BTG	
SCALE:	
1" = 20'	
DATE:	
6/7/2012	
SHEET	



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BRIDGESTONE PLAT "C"
4500 WEST HARVEY BLVD., CEDAR HILLS, UTAH
UTILITY PLAN

REVISIONS	
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SCALE:
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6/7/2012

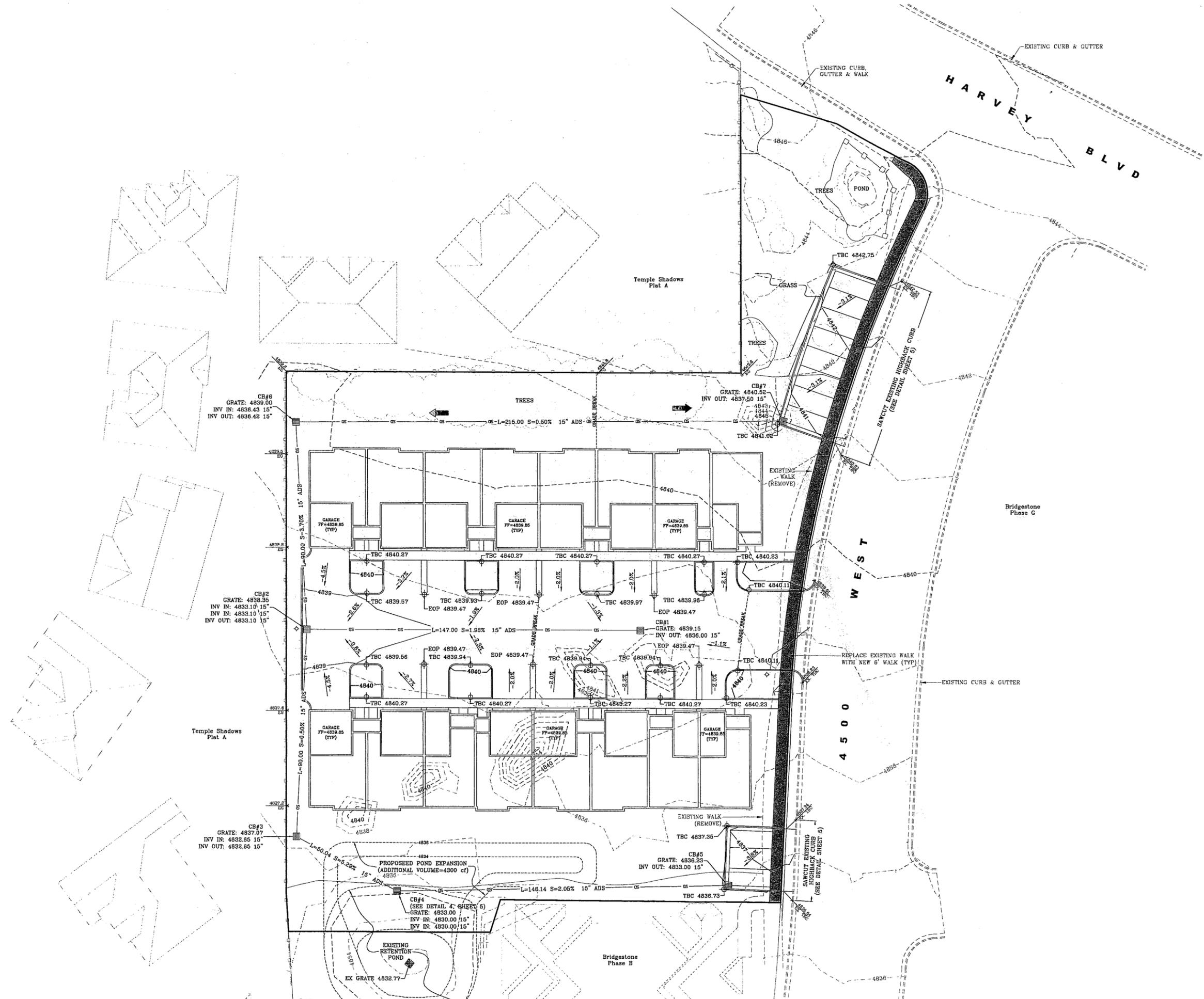
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SCALE: 1" = 20'



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BRIDGESTONE PLAT "C"
4500 WEST HARVEY BLVD., CEDAR HILLS, UTAH

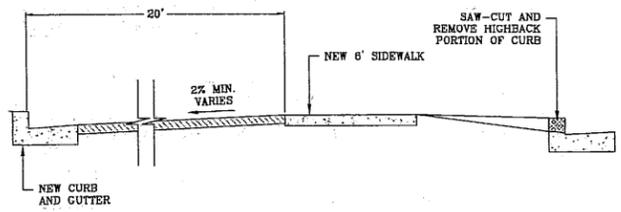
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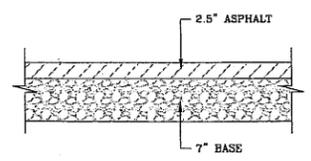


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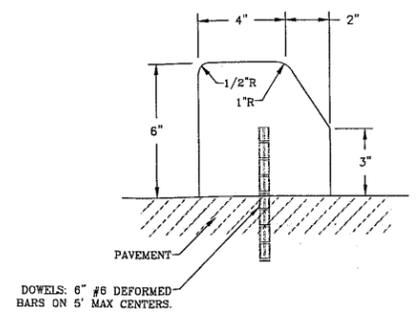


1 CURB SECTION

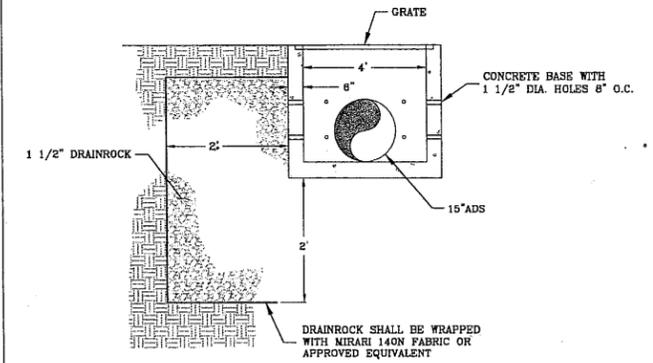


NOTE: SEE SOILS REPORT FOR ADDITIONAL INFORMATION

2 PAVING SECTION

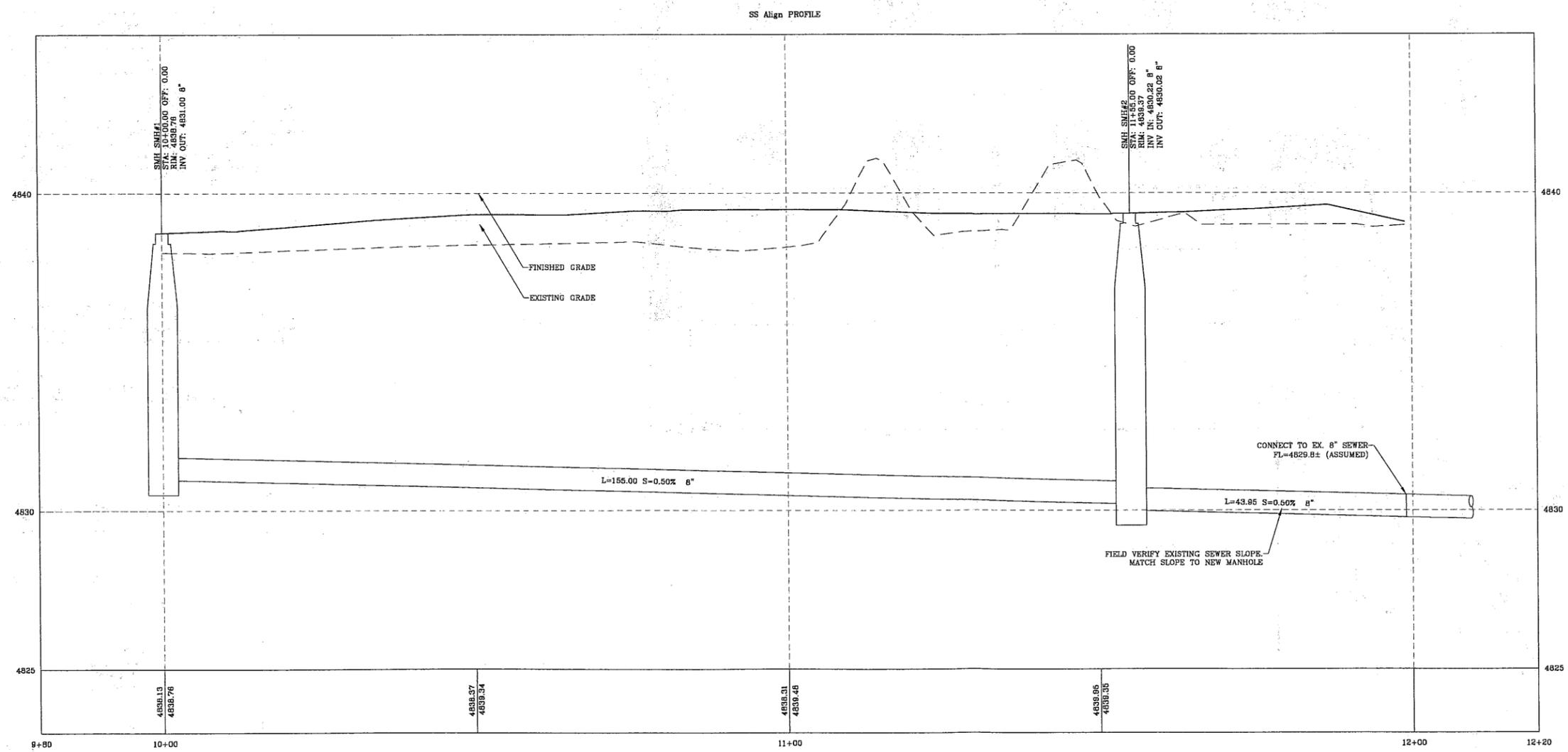


3 RAISED ISLAND CURB



NOTES:
1. THERE SHALL BE A 2' - 1 1/2" MINUS GRAVEL ENVELOPE AROUND THE BOTTOM OF THE BOX.
2. SECTIONS SHALL HAVE 1" TO 1.5" DIA. HOLES 18" O.C.

4 CB#4 DETAIL



BRIDGESTONE PLAT "C"
4500 WEST HARVEY BLVD., CEDAR HILLS, UTAH

DETAILS

REVISIONS	
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LEI PROJECT #:
2011-0442

DRAWN BY:
JSR

CHECKED BY:
BTG

SCALE:
1" = 20'

DATE:
6/7/2012

SHEET

PLANT MATERIALS LEGEND:

SCIENTIFIC NAME	COMMON NAME	SIZE	QTY.
TREES			
AT <i>Acer tatarica</i> 'Tatarian' ▲	Tatarian Maple	2" cal.	9
FA <i>Fraxinus americana</i> 'Autumn Purple'	White Ash	2" cal.	5
PO <i>Picea omonka</i> 'Wells Riverside'	Serbian Spruce	6'	8
SS <i>Malus</i> 'Spring Snow'	Flowering Crabapple	2" cal.	8
		Total:	30
SHRUBS			
CA <i>Cornus sericea</i> 'Kelsey'	Red Osier Dogwood	#5	11
DG <i>Physocarpus opulus</i> 'Dart's Gold' ▲	Ninebark	#5	16
SB <i>Spiraea bumalda</i> 'Anthony Waterer'	Spiraea	#5	18
		Total:	45
GRASSES			
CA <i>Calamagrostis x acutiflora</i> 'Karl Foerster' ▲	Feather Grass	#1	24
BB <i>Festuca ovina glauca</i> 'Boulder Blue' ▲	Fescue Grass	#1	12
HM <i>Hakonechloa macra albo-striata</i> 'Japanese Forest'	Hakonech Loa Grass	#1	10
		Total:	46

▲ Indicates water-wise (drought tolerant) species

LANDSCAPE MATERIALS:

- Landscape Area (4,035.0 sq. ft.)**
Landscape areas are to be constructed with a screened top soil and mulched with a minimum of three (3") inches of shredded bark mulch or soil pep mulch. Prior to plant installation and application of mulch, it is recommended that weed barrier fabric be applied on top of finish grade top soil, according to manufacturer's specifications.
- Lawn Area (24,995.0 sq. ft.)**
Sod shall be placed on top of six to eight (6-8") inches of screened top soil, once rough and finish grading has been completed. All sod lawn areas shall be separated from planter bed areas with four (4") inch steel or bender board edging, and shall be 100% irrigated with a combination of pop-up rotors and spray heads. It is recommended that a drought tolerant sod variety be selected.
- Landscape Edging (26.0 lin. ft.)**
Landscape edging shall consist of either four (4") inch steel or bender board material and shall be used to separate landscape planter areas from lawn areas.

TREE PLANTING NOTES:

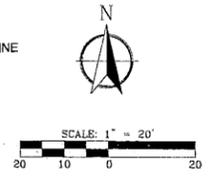
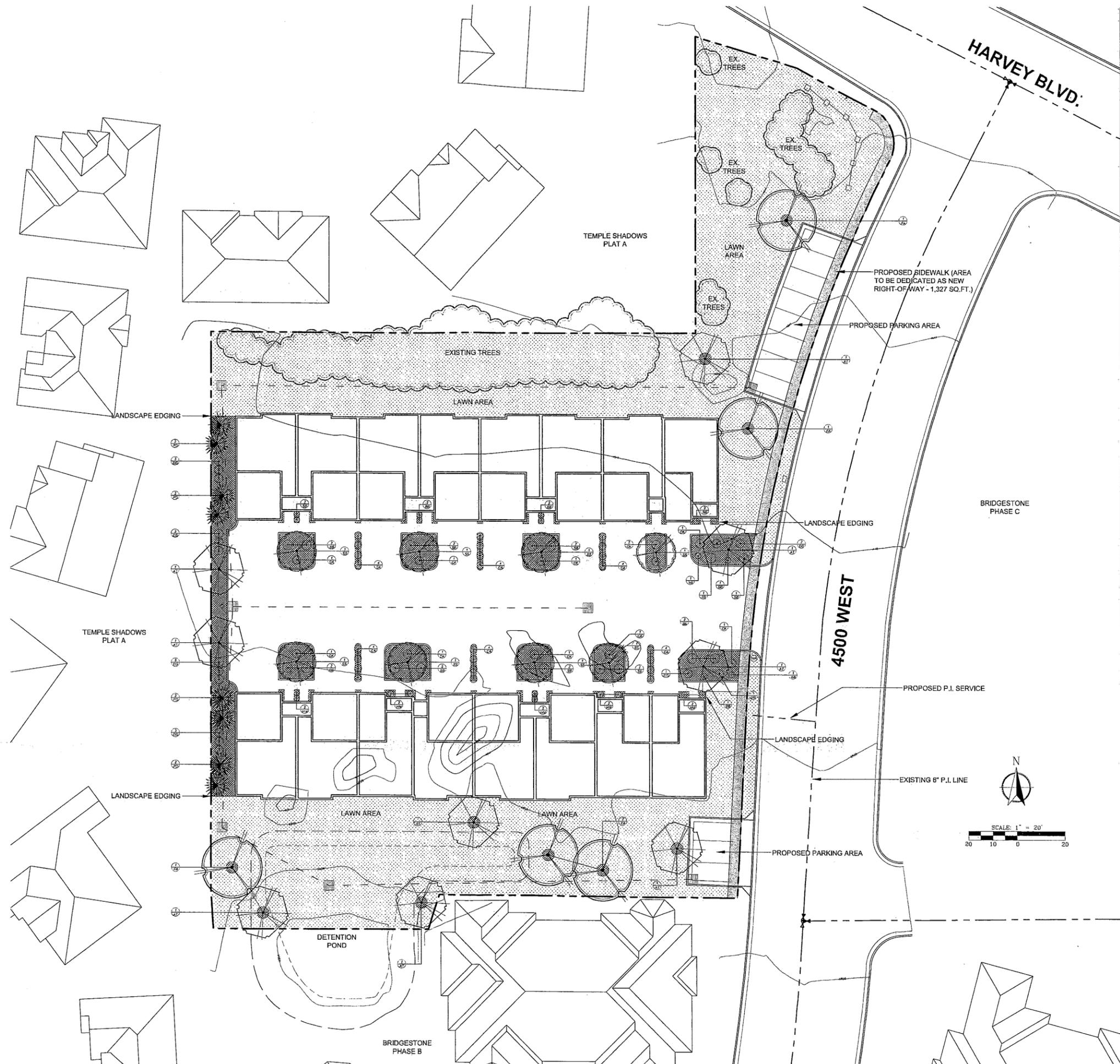
- All deciduous trees shown on this Landscape Plan shall be two inch (2") caliper containerized or balled and burlapped stock. Containerized trees that appear to be root bound shall not be acceptable. Balled and burlapped trees showing obvious signs of damage to the root ball and/or leader shall not be acceptable.
- All deciduous trees planted within lawn area shall include a five foot (5') diameter mulched area around the trunk of the tree. It is recommended that the mulch area around each tree be separated from the lawn area with a prefabricated steel or bender board edging ring, installed according to manufacturer's instructions.
- All coniferous trees shown on this Landscape Plan shall be six (6') feet in height and balled and burlapped stock. Any coniferous trees showing obvious damage to the root ball, leader and/or limbs shall not be acceptable.
- Tree holes shall be dug two (2) times the diameter of the root ball and only as deep as the root ball.
- Tree root ball shall be at least twelve (12") inches in diameter per each one (1") inch of tree caliper and at least eighteen (18") inches deep. Root ball shall be wrapped tightly with no loose parts.
- Tree should be set in the center of the hole and stood upright. The root flare should be visible and located at, or slightly above, finished ground level. The root flare should never be below finished ground level.
- Balled and burlapped trees shall only be lifted by the wire basket. Never lift trees by grasping trunk or limbs, or by attaching any type of sling or choker.
- Remove at least the top half of wire basket. Push the remaining basket into the bottom of the hole.
- Cut and fold down burlap into bottom of hole.
- Remove all strings, rope, stakes, taping, tags, flagging, and any other such items.
- Backfill hole with parent material, compact only enough to hold tree in place. Never use mechanical compaction. Top soil or soil pep may be added to parent material but may not replace parent material. Backfill material should cover root flare slightly, but should never be piled against trunk.
- Water generously to soak entire root ball and backfill material. A soil water ring should be formed at the edge of the root ball. Backfill material may need to be added as soil settles below root flare.
- Form a mulch ring around the base of the tree. Mulch ring shall be at least five (5') feet in diameter and three (3") to (4") inches deep. Do not pile mulch around trunk.
- Properly planted trees generally **do not require staking**. However, if tree staking is necessary, stakes should be driven into the ground outside of the root ball. Guying material must be wide and flexible, and of a material that will not damage the tree. Trees shall be staked so that the trunk may move naturally in the wind. Tree staking materials shall be removed after one year's time.

SHRUB PLANTING NOTES:

- All shrubs shown on this Landscape Plan shall be five (5) gallon containerized nursery stock.
- Hole should be dug at least twice the diameter of the root ball and only as deep as the root ball.
- Gently remove plant from the container, lightly rub all sides of the root ball to expose ends of roots, and place in the center of the hole. The top of the root ball should be at finished ground level.
- Backfill the hole with parent material. Top soil or soil pep may be added to parent material, but should not replace parent material.
- Compact soil enough to hold plant in place. Never use mechanical compaction.
- Generously water to soak entire root ball and backfill. A soil water ring should be formed around the outside of the root ball. Backfill material may need to be added after material has settled.
- Mulch shall be added to a depth of three (3") to four (4") inches and at least twice the width of the root ball.
- For weed barrier cut a hole for the plant at least one and a half (1 1/2) times the diameter of the root ball to allow room for the plant to expand and grow naturally.

IRRIGATION NOTES:

- All lawn areas shall be one hundred (100%) percent irrigated with rotors and pop-up spray heads.
- All plants and trees within planter bed areas shall be irrigated with drip irrigation.
- The entire irrigation system shall be controlled with an exterior automatic controller, within a locking case.
- The irrigation system shall include a rain sensor, installed as a part of the overall system.
- The total amount of watered landscaped areas (planter areas and lawn areas) equals 29,029.0 square feet.



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SEAL OF THE STATE OF UTAH
 ADAM CASTI
 No. 770
 Licensed Landscape Architect

BRIDGESTONE PLAT "C"
 4500 WEST HARVEY BLVD., CEDAR HILLS, UTAH

REVISION	DATE
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LEI PROJ# 2011-0
 DRAWN BY AKK
 CHECKED BY AKK
 SCALE 1" = 2'
 DATE 5/31/21
 SHEET



CITY OF CEDAR HILLS

TO:	City Council
FROM:	Mayor Gary R. Gygi
DATE:	7/31/2012

City Council Agenda Item

SUBJECT:	Appointment of City Manager
APPLICANT PRESENTATION:	N/A
STAFF PRESENTATION:	N/A
BACKGROUND AND FINDINGS:	
<p>As per City Code 1-6A-1: The mayor, with the advice and consent of the city council, shall appoint a city manager within a reasonable time whenever a vacancy exists in such position. Such appointment shall be without definite term and shall be at a salary to be fixed by the city council by contract, resolution or ordinance. The city manager shall be appointed without regard to any consideration other than his/her abilities, integrity, competency, training and experience as a city manager. At the time of his/her appointment, he/she need not be a resident of the city or state, but during tenure of office he/she shall reside within the city, except at the discretion of the city council. No member of the city council nor the mayor shall be appointed city manager during the term for which he/she shall have been elected, nor within one year after the expiration of his/her term. (Ord. 11-20-2001A, 11-20-2001</p>	
PREVIOUS LEGISLATIVE ACTION:	
N/A	
FISCAL IMPACT:	
N/A	
SUPPORTING DOCUMENTS:	
N/A	
RECOMMENDATION:	
<p>To sustain the appointment of Mayor Gygi for the position of City Manager. If the appointee does not reside within the City limits, a finding of fact that due to the proximity of residency or other finding can be reason for exception to be granted per code 1-6A-1.</p>	
MOTION:	
<p>To consent and approve the appointment of _____ to the position of City Manager. In addition, according to City Code 1-6A-1, an exception at the discretion of the City Council, that said appointee is not required to live within the city limits.</p>	